

# Centre Square Preliminary Master Plan



Centre Square  
BRISTOL CONNECTICUT

March 2017

**Centre Square**

The  
**Heart** of  
**DOWNTOWN BRISTOL**



# What Is A Master Plan?

A Master Plan is a road map that will guide future development on the Centre Square site.

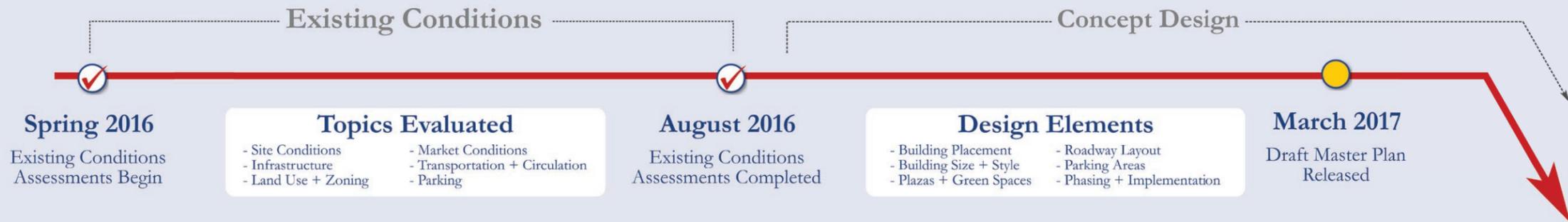
## The Plan:

- Represents the community's vision for future development on the Centre Square site
- Shows the general layout of roadways, buildings, public spaces, and parking areas
- Divides the site into smaller parcels that can be developed over time
- Identifies barriers to private development and recommends actions that the City can take to address those barriers
- Identifies infrastructure improvements that the City can make to support private development
- Is a marketing tool for prospective developers

# The Master Planning Process and Timeline

## Site Planning and Design

Ensure that the Master Plan aligns with the unique physical characteristics of the site as well as market realities



## Public Outreach

Ensure that the Master Plan reflects the community's vision for Centre Square



## Project & City Coordination

Coordinate with related projects to ensure consistency and cohesion



Centre Square  
**Public**  
OUTREACH



## Project website and branding developed in the spring of 2016

- All project materials, including tonight's presentation can be found on the project website



Thank you for your interest in the  
Redevelopment of Centre Square!

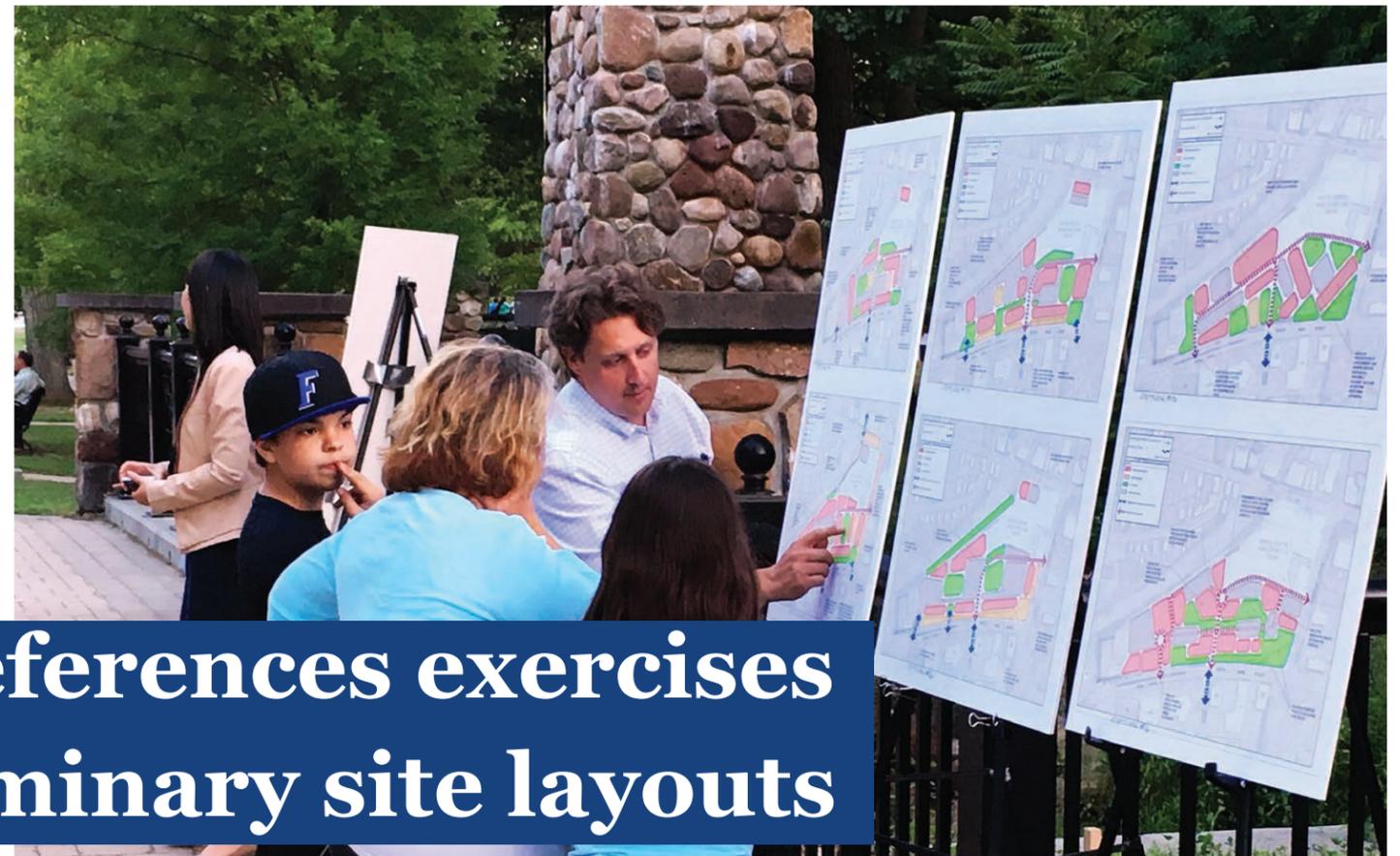
### About the Project

The Bristol Development Authority is conducting a planning and design process to redevelop Centre Square – the former Bristol Centre Mall site. As we work to build a better Downtown Bristol, we seek to develop and implement a vision that is supported by the community and reality.

<https://bristolcentresquare.com>

## Two events held in the summer of 2016

- July 19th, 2016 at the Rockin' Out at Rockwell Park Summer Concert Series
- August 20, 2016 at the Rockwell Park Summer Festival



**Public participated in visual preferences exercises and provided feedback on preliminary site layouts**

Over 550 respondents (91% local residents) participated in an online visioning survey – answered a range of questions on demographics, future aspirations for downtown, and visual preferences

## Takeaways:

- Most people travel to Downtown Bristol by car – having adequate and conveniently located parking is crucial. People want to park once
- People like the existing small businesses, historic buildings, and streetscaping

## What's The Right Density for Downtown Bristol?



**The Right Density:**  
73.4%

**Too Dense:**  
54.9%

**Not Dense Enough:**  
85.1%

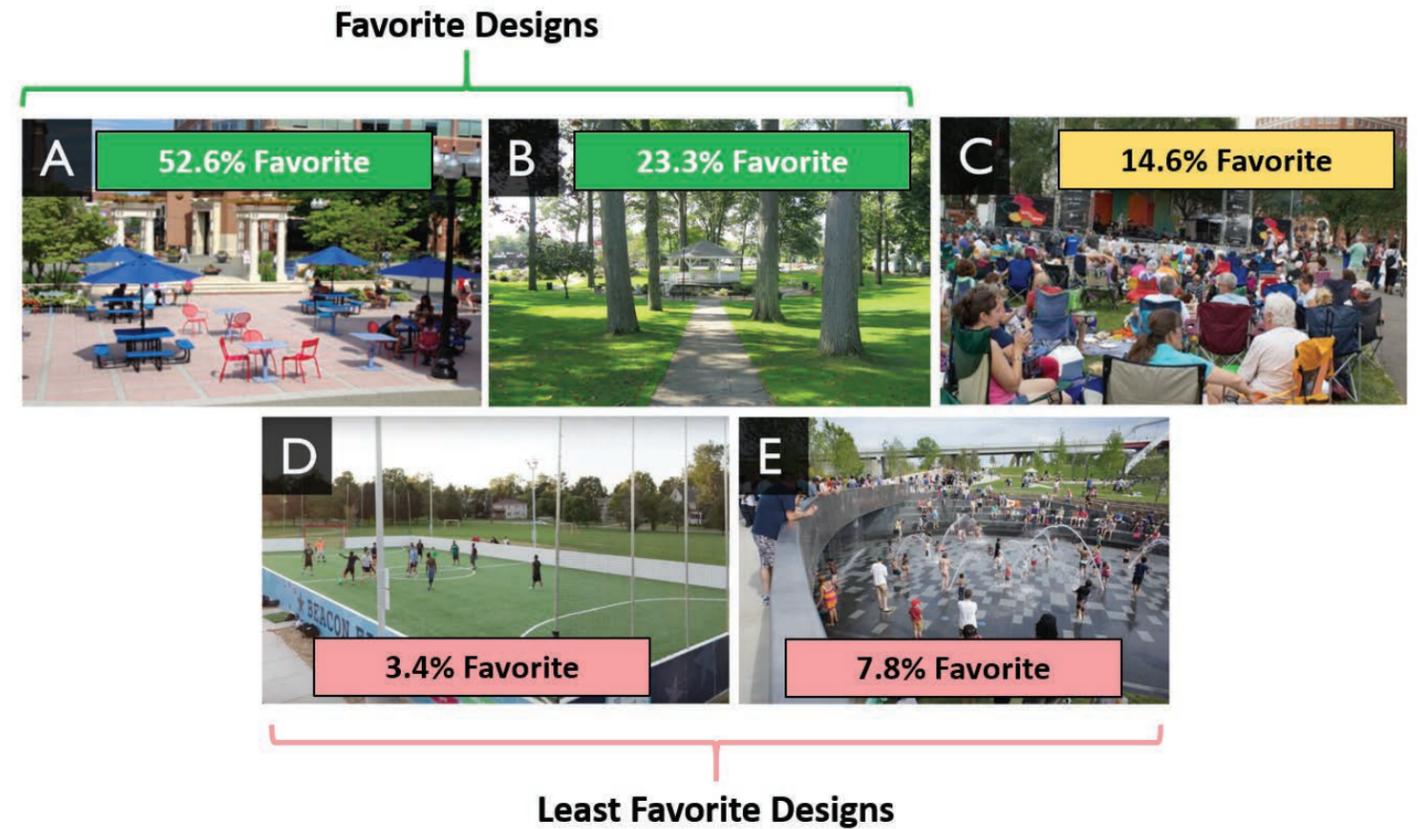
**PREFERRED**

- People would like to go shopping downtown – but need more variety first
- Appearance and character, events, activities, and walkability strongly desired – can be addressed by City through infrastructure improvements and programming

## Visual Preferences Takeaways:

- Buildings – Medium density street-facing buildings with parking areas behind. Traditional styles were preferred over contemporary styles
- Public Space - Public plaza space is most desired– green space second most desired. Active public spaces such as playgrounds and athletic facilities were the least desired
- Streetscapes – Street trees, planters, and outdoor space for dining were preferred – physical and aesthetic improvements to the pedestrian environment

## Favorite Public Space Designs



- Parking – Angled on-street parking. Community divided on off-street parking – slightly more respondents would park in a surface lot over a parking garage

**Visual preferences were incorporated into the preliminary concept design  
Community driven design process**

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# **OPPORTUNITIES**

**& CONSTRAINTS**



# Existing Conditions

Used to identify opportunities and constraints to development on the Centre Square site

- Site Conditions
- Infrastructure
- Land Use + Zoning
- Market Conditions
- Transportation + Circulation
- Parking



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## onstraints

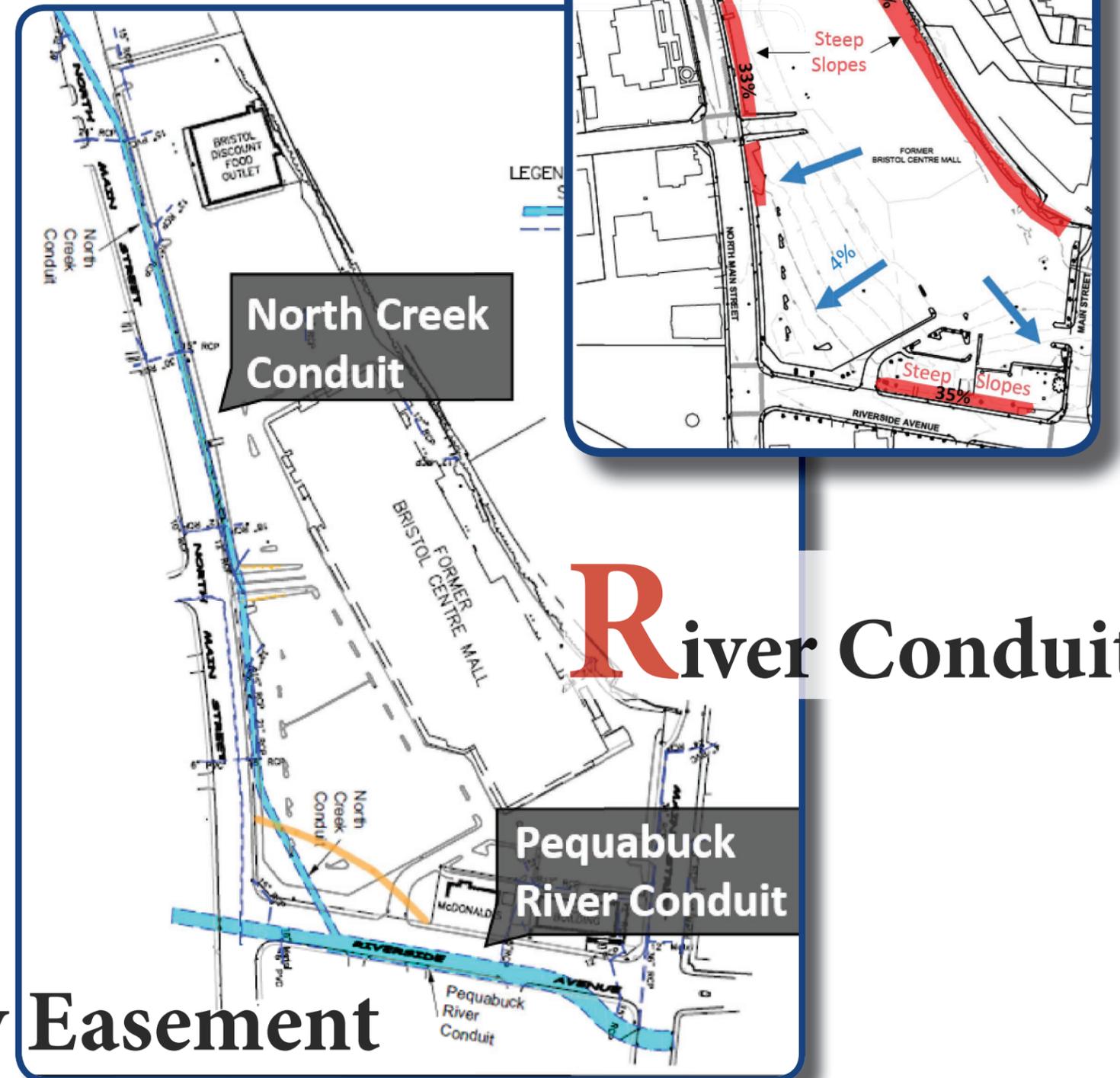
- Gently sloping site rises 15 feet from North Main Street to the rail line – influences building placement and orientation on the site – leveling the site is cost prohibitive
- Buried conduits, steep slopes, and utility easements make it difficult to place buildings along the street in some locations
- Site constraints make it challenging to satisfy zoning setback requirements in some areas
- Challenging demographics and traffic volumes make it difficult to draw in regional or national scale retailers

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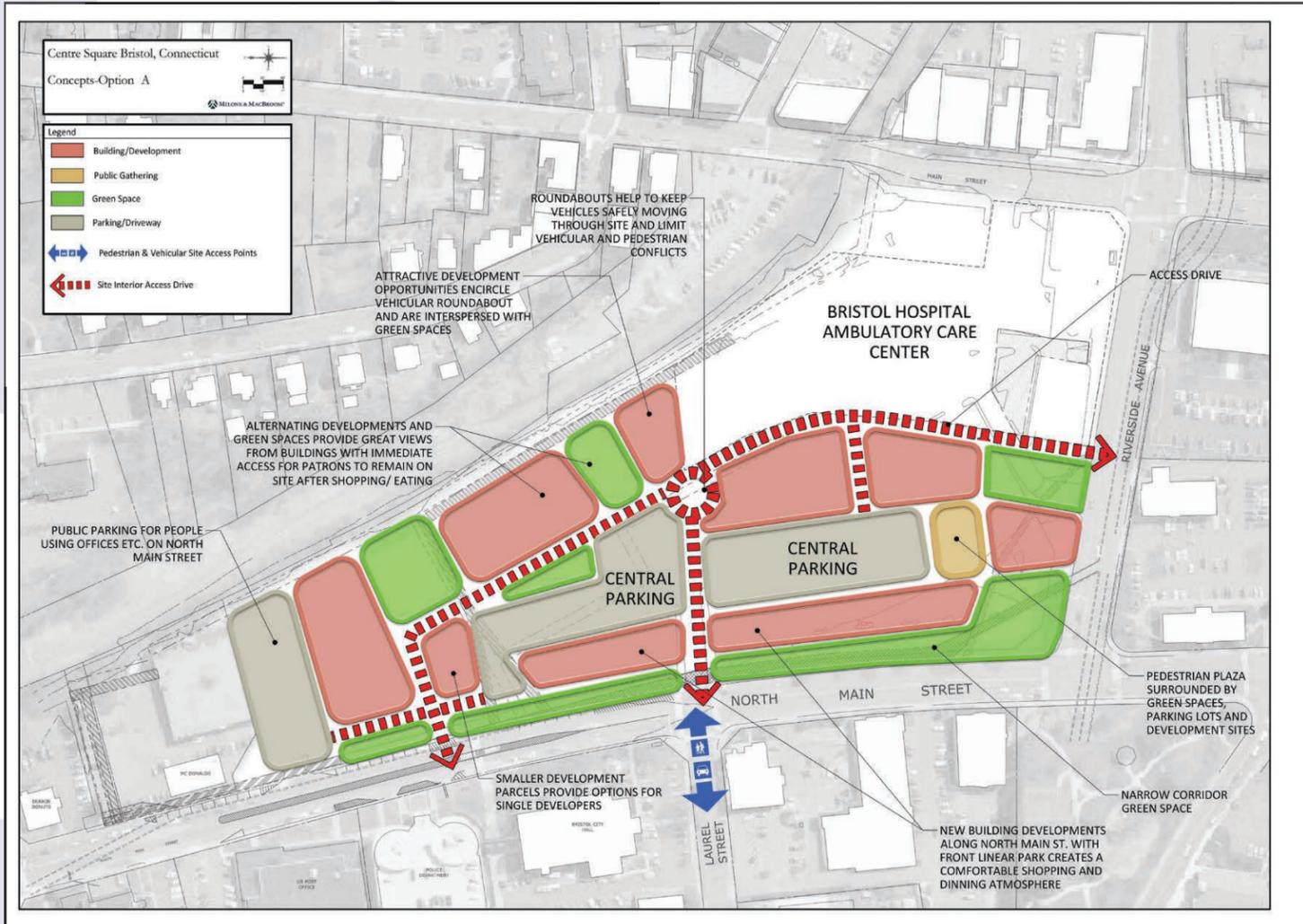
- Development likely to occur over a period of time – undeveloped portions of the site can become a community asset in the interim through events and programming
- Excess road space on Riverside and North Main – could support additional on street parking and streetscape improvements to enhance the pedestrian experience
- Internal roadway divides Centre Square into smaller development sites - scaled appropriately to support local-scale businesses
- Public plazas and green spaces strategically located in constrained areas that cannot support buildings
- Leverage ongoing downtown projects such as Bristol Hospital and recent call center (400 employees)

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# **Plan**

**DEVELOPMENT**





### PHASE - I

- SITE ACCESS ROAD
- STREET TREE PLANTING
- TURF RESTORATION
- EX. PARKING TO REMAIN



### PHASE - II

- EX. PARKING TO REMAIN
- MIXED USE BUILDINGS
- NEW PARKING LOT



### PHASE - III

- EX. PARKING REMAINS
- BRISTOL HOSPITAL DEVELOPMENT
- PEDESTRIAN PLAZA
- ADDITIONAL BUILDING DEVELOPMENT



### PHASE - IV

- EX. PARKING CONVERTED TO OPEN PARK SPACE
- NORTHERN SITE ACCESS ROAD
- STREET TREE PLANTING
- NEW PARKING AREA
- ADDITIONAL BUILDING DEVELOPMENT



### PHASE - V

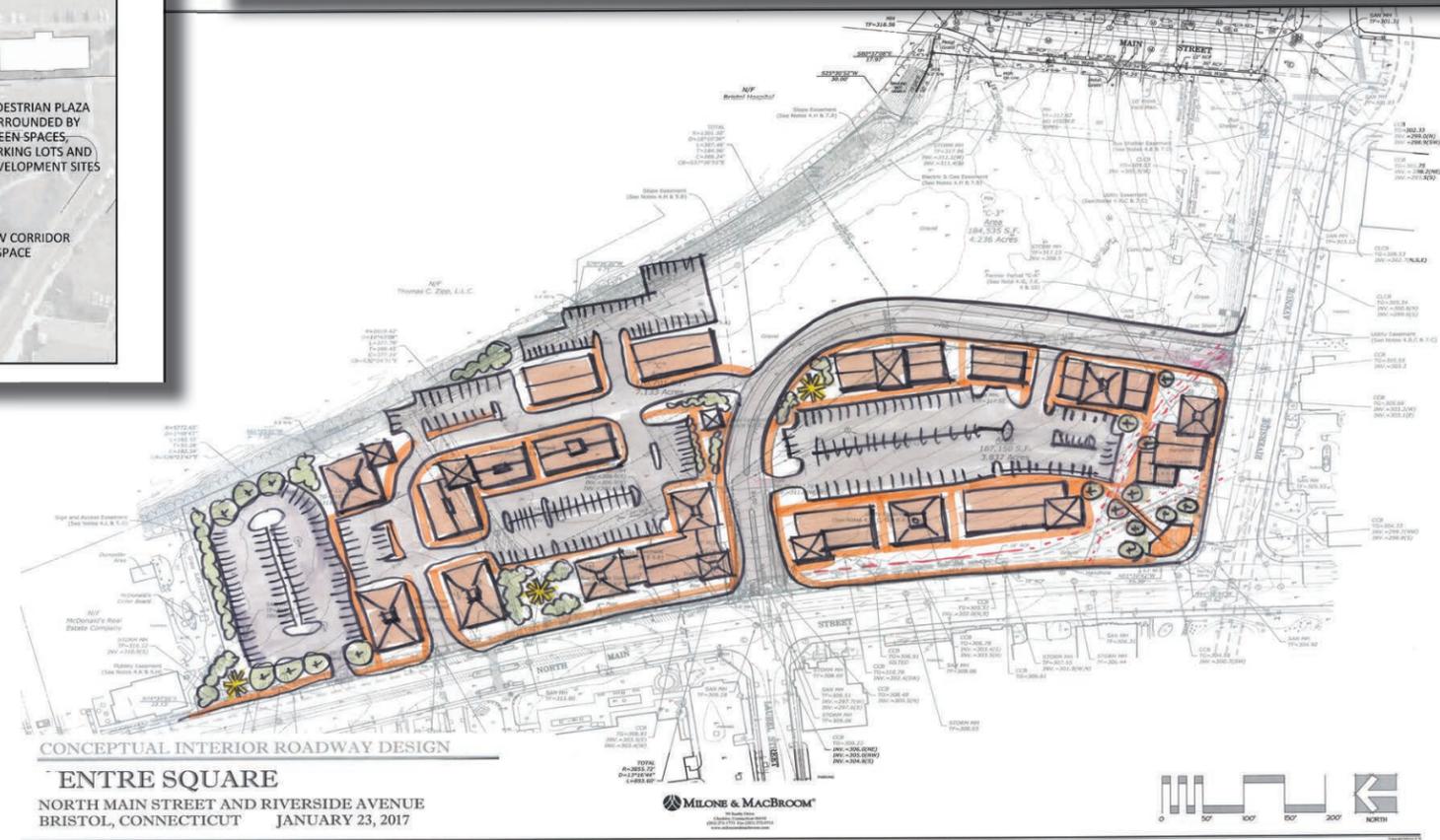
FULL BUILD OUT



#### CONCEPTUAL DEVELOPMENT PHASES - OPTION-A

CENTRE SQUARE  
BRISTOL, CONNECTICUT

AUGUST 18, 2016



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# **Preliminary**

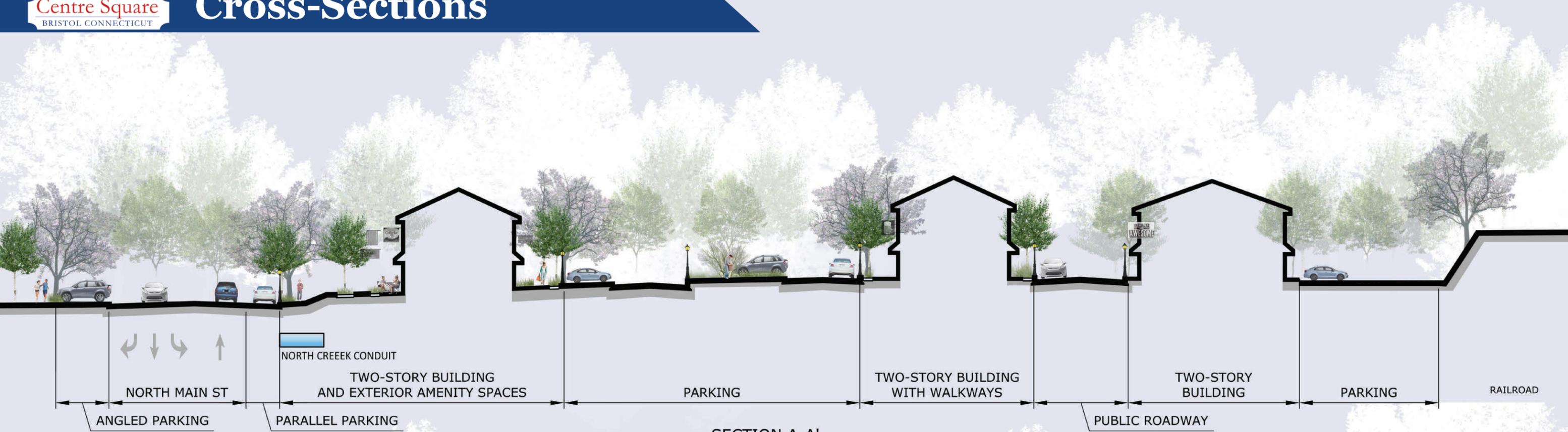
**MASTER PLAN**



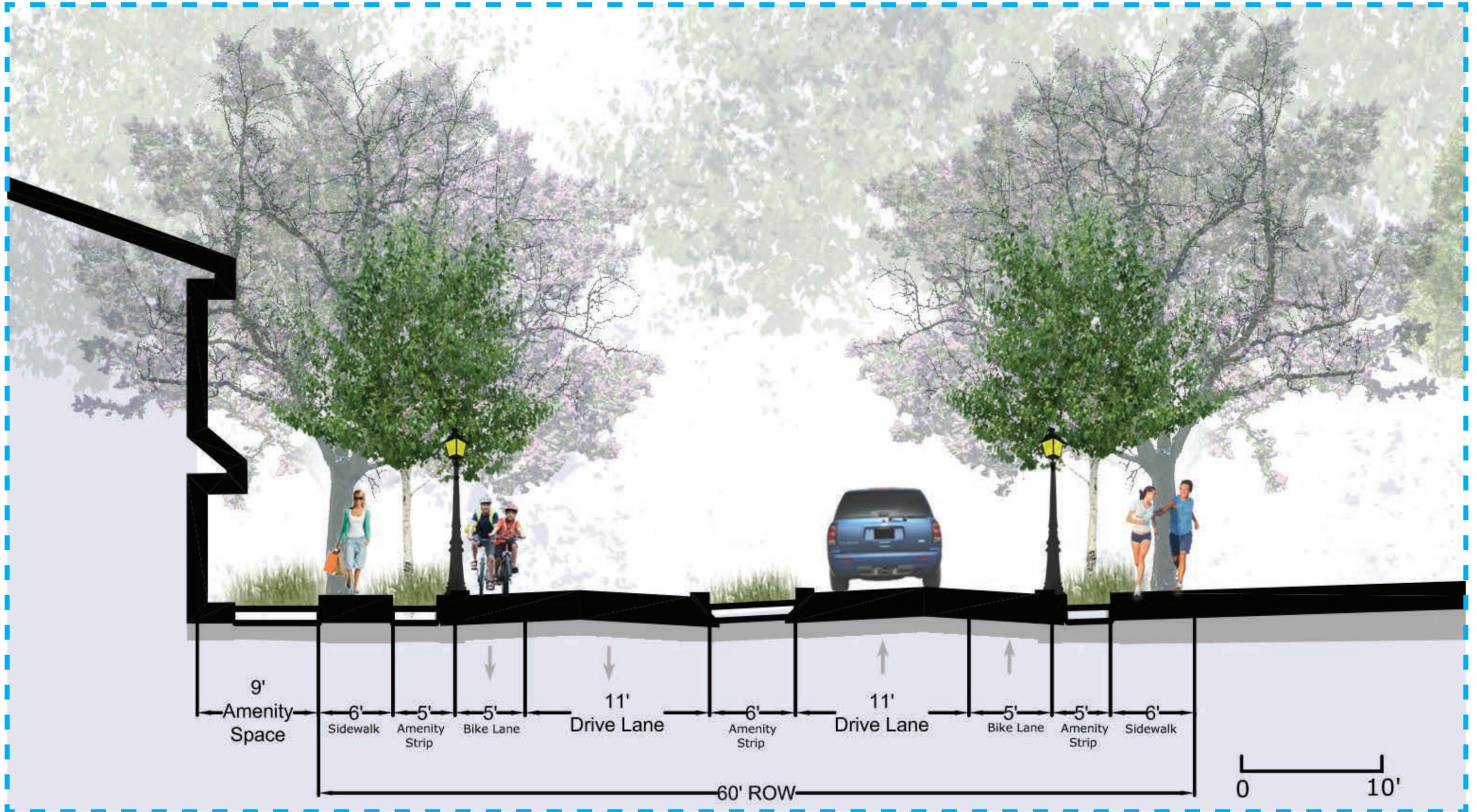
# Preliminary Master Plan



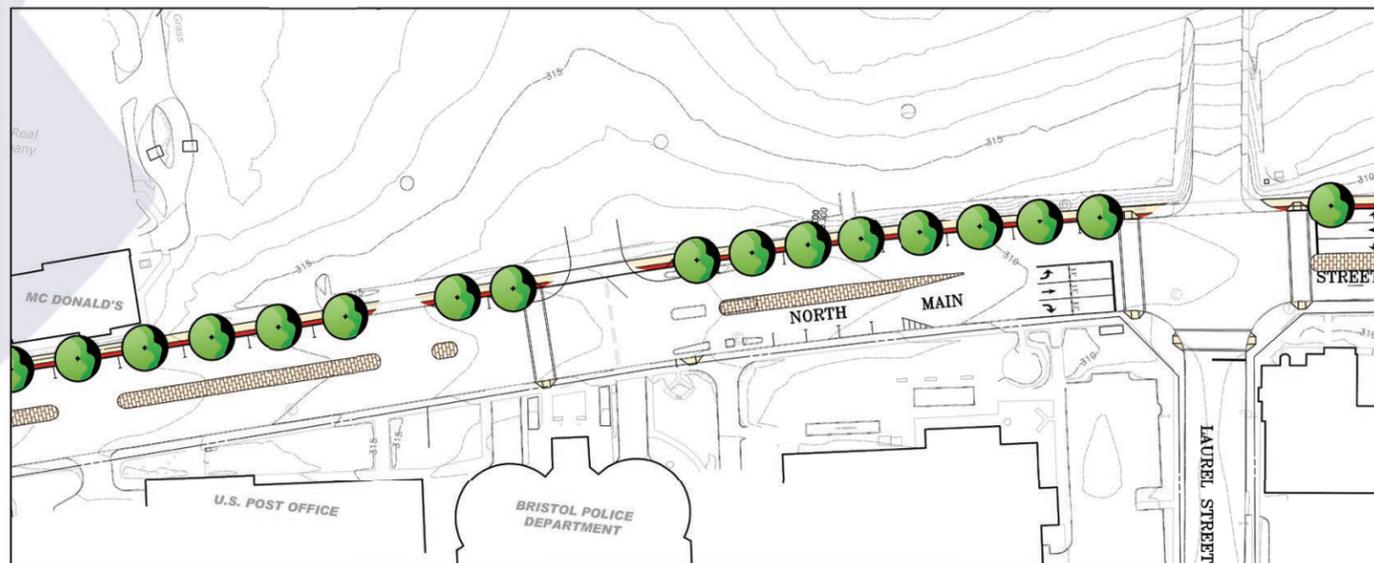
# Cross-Sections



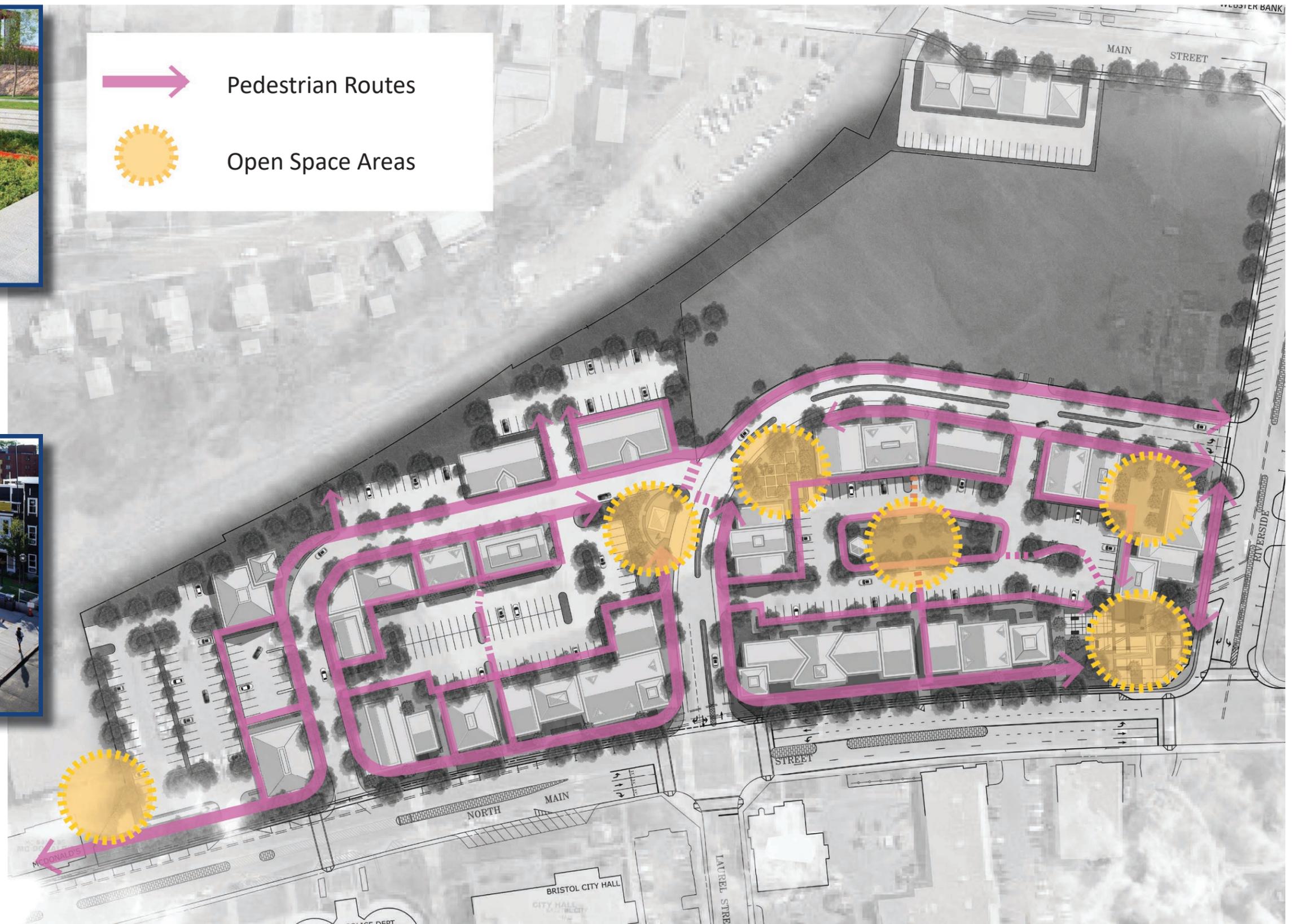
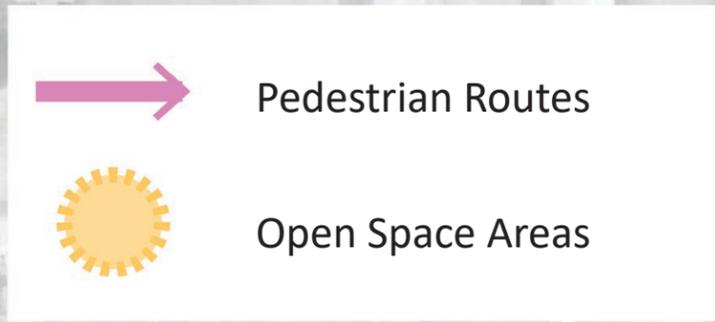
# Streetscape Enlargement



- Streetscape design currently underway for Main Street, Riverside Avenue, and North Main Street
- New sidewalks, street trees, and lighting
- Lane reconfigurations (road diet) on Riverside Avenue and North Main Street
- Curb extensions shorten pedestrian crossings
- Expanded on-street parking opportunities on Main Street (10 spaces), Riverside Avenue (46 spaces) and North Main Street (16 spaces) created from excess road space



# Pedestrian Connections





# Phase I Area A

- Ⓐ • Construct central roadway, bus stop and associated amenities



# Phase I Area B

- Construct public roadway, northern parking area and associated amenities
- Create central lawn open space along North Main Street



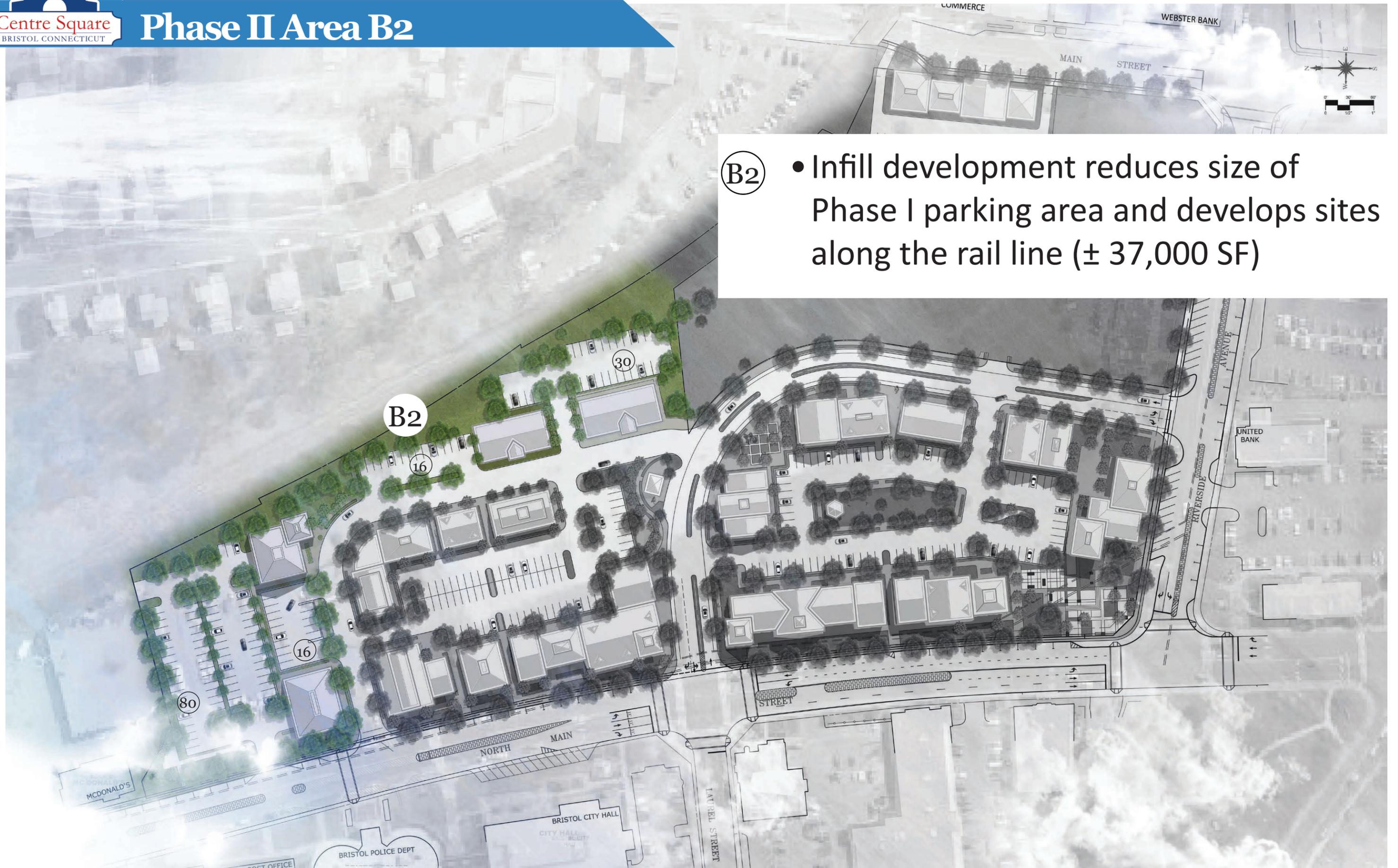
# Phase I Area C

- Two-story buildings ( $\pm$  88,000 SF) placed along roadways
- Interior parking area, pedestrian plazas, landscaping, and amenities





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- **B1** • Two-story buildings ( $\pm$  67,000 SF) placed along roadways
  - Interior parking area, perimeter walkways, and associated amenities



- Infill development reduces size of Phase I parking area and develops sites along the rail line ( $\pm 37,000$  SF)

- B3** • Two story building fronting Main Street (±16,000 SF) with parking area behind



# Preliminary Master Plan

- Municipality to jump start development
- Flexible development plan – building in stages as development warrants
- Potential for future parking garage





# Potential View on North Main St



# Potential View at Central Plaza





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# **NEXT STEPS**

Your input tonight will be used to shape the final Master Plan – the final Plan will be released later this spring

## Ongoing Projects and Initiatives:

- Bristol Hospital Development
- Internal Roadway and Utility Design
- Riverside Avenue and North Main Street Streetscape Design

## Recommended Future Actions:

- Downtown Bristol Parking Management Plan
- Site subdivision/property line revision
- Utility easement abandonment
- Grant applications for infrastructure improvements



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# QUESTIONS

Have additional questions, comments or suggestions? Please let us know by leaving a comment on the Centre Square website:

<https://bristolcentresquare.com/contact/>

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**THANK YOU**

